



BROAD BAY VISTAS

DESIGN CONTROLS



DOCUMENT REFERENCE

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Design Guidelines
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OVERVIEW

VISION AND STRATEGY

The Broad Bay development seeks to create a high quality residential development reflecting the coastal Otago style. These Design Guidelines are to provide clarity in developing a strong sense of local character, achieve a coherency in architectural style, materials and colours, whilst still allowing for originality and innovation in design.

These Design Guidelines are issued by Broad Bay Vistas and are intended to be administered by Broad Bay Vistas or its nominee.

These Design Guidelines contain on-going requirements and purchasers and lot owners must continue to comply with the Design Guidelines even if they have obtained design approval.

These Design Guidelines may be amended from time to time by Broad Bay Vistas at its discretion.

OTHER REGULATIONS AND GUIDELINES

This document is to be read in addition to local authority and other regulatory requirements and the provisions of instruments registered on the Records of Title for lots.

Purchasers and lot owners are responsible for ensuring that designs are compliant with Regulations and in the event of a conflict between these Design Guidelines and Regulations then Broad Bay Vistas Ltd must be contacted for clarification of the application of these Design Guidelines.

The Design Approval Process does not assess compliance with the Regulations and Broad Bay Vistas Ltd does not accept liability for ensuring compliance with Regulations.



DESIGN APPROVAL PROCESS

OVERVIEW

No purchaser or lot owner shall commence construction of any building or any landscaping on any lot without having first obtained the written approval of Broad Bay Vistas Ltd to the plans and specifications of that building and/or landscaping. This is called Design Approval.

The purchaser or lot owner must submit its Design Approval application to Broad Bay Vistas Ltd. It is strongly recommended that Design Approval is obtained prior to submission of any application for Building Consent.

The Design Approval Process is broken into two stages;

Stage 1:	Concept Design
Stage 2:	Developed Design

Each stage will be reviewed by Broad Bay Vistas Ltd. Any changes required will be noted and returned to the lot owner for re-submission until the design is approved.

It is strongly recommended that the Concept Design receives approval prior to progressing to the Developed Design stage.

The fee for the Design Approval Process will be paid by the developer for the first application per lot. Thereafter the design process fee will be \$350 + GST.

STAGE 1: CONCEPT DESIGN

The Concept Design needs to provide enough detail across the design of the building and landscaping to demonstrate that the application complies with the spirit of the controls set out in these Design Guidelines.

The Concept Design must include all of the following at an appropriate scale:

SITE PLAN

The site plan should clearly illustrate the building location and footprint, exterior hard surfaces, driveway position, fencing, site coverage calculations, setback dimensions, and general levels/contour information.

PLANS AND ELEVATIONS

A full set of floor plans and elevations for all sides of the building with heights and dimensions. This shall include a description of exterior materials, finishes and colours.

LANDSCAPE PLAN

This plan should show patios/decks, outdoor areas, the general landscape layout including the design of the front yard or yards adjoining reserves, including location of fences, walls, trees, lawn, planting beds, and other landscape features.

3D PERSPECTIVES

Drawings or renders of the proposed dwelling at a conceptual quality as seen from the street at eye level or other appropriate angle/viewpoint.

Any non-complying matters shall be clearly annotated on drawings.



DESIGN APPROVAL PROCESS

STAGE 2: DEVELOPED DESIGN

In order to align with the vision and strategy of Broad Bay Vistas Ltd, the developer is particularly interested in how the building form, façade materials, façade colour and front yard landscaping interacts with the street and neighbouring properties. All drawings provided to be A3 CAD plans, at an approved scale.

The Developed Design stage must include all of the following:

SITE PLAN

The site plan should clearly illustrate the building location and footprint, exterior hard surfaces, driveway position, fencing, site coverage calculations, setback dimensions and general levels/contour information.

PLANS AND ELEVATIONS

A full set of floor plans and elevations for all sides of the building with heights and dimensions. This shall include a full description of exterior materials, finishes and colours.

LANDSCAPE PLAN

This plan should show patios/decks, outdoor areas, the general landscape layout including the design of the front yard or yards adjoining reserves, including location of fences, walls, trees, lawn, planting beds, and other landscape features.

3D PERSPECTIVES

Drawings or renders of the proposed dwelling at a conceptual quality as seen from the street at eye level or other appropriate angle/viewpoint.

Any non-complying matters shall be clearly annotated on drawings.

APPLICATIONS

Broad Bay Vistas Ltd may, at its discretion, request additional documentation and/or information in order to consider any application for Design Approval.

Notwithstanding any other provision of these guidelines, Broad Bay Vistas Ltd may agree to exemptions or departures to these Design Guidelines at its sole discretion.

Broad Bay Vistas Ltd acknowledges that new materials, colours, textures, and tones are continuously being developed and as such are open to consider materials/colours that are not currently listed within these Design Guidelines. Any such proposed departures from the Design Guidelines must be clearly highlighted in the design approval application. The approval of any departure is at the sole discretion of Broad Bay Vistas Ltd.

The Design Approval of Broad Bay Vistas Ltd is final and at their sole discretion. Broad Bay Vistas Ltd will endeavour to review all design approval applications in a timely manner, however, Broad Bay Vistas Ltd will not accept liability for delays in processing or obtaining Design Approval.

Applications for design approval must be submitted to Broad Bay Vistas Ltd using the following contact details:

Broad Bay Vistas Ltd Contact Information:

Email: design@broadbayvistas.co.nz

Website: broadbayvistas.co.nz

Please refer to The Broad Bay Design Approval Application Form to apply.



DESIGN GUIDELINES

1.0 OBJECTIVES

The Broad Bay development will build on its coastal location. These Design Controls are based on the following design themes:

- A continuity of contemporary design and building character avoiding residential clutter and ensuring a quality outcome that will protect the value of landowner interests by having a consistent design theme.
- A continuous theme of a native planting framework, re-establishing, in part, the original vegetative cover and using that for character, privacy and shelter.

1.1 SITE LAYOUT

Dwellings and outdoor living areas should be positioned to take advantage of the views, north facing location and to suit the climatic conditions.

1.2 SITE COVERAGE

The maximum site coverage for each lot shall not exceed 40% of the net site area. Eaves do not count towards site coverage calculations.



BOUNDARY SETBACKS

2.0 BOUNDARY SETBACKS

The lots at Broad Bay feature varying setbacks from each boundary which are described below. Refer to the diagram opposite for illustration of boundary setbacks.

2.1 ROAD & ROW BOUNDARIES

A minimum 4.5 m boundary setback is required across all lots facing the road.

2.2 NORTH/SOUTH BOUNDARY

A minimum 3.0 m boundary setback is required where lots share a north / south boundary as shown in the diagram opposite.

2.3 ALL OTHER BOUNDARIES

A minimum 2.5 m boundary setback is required all other boundaries as shown in the diagram opposite.

2.4 GARAGE SETBACKS

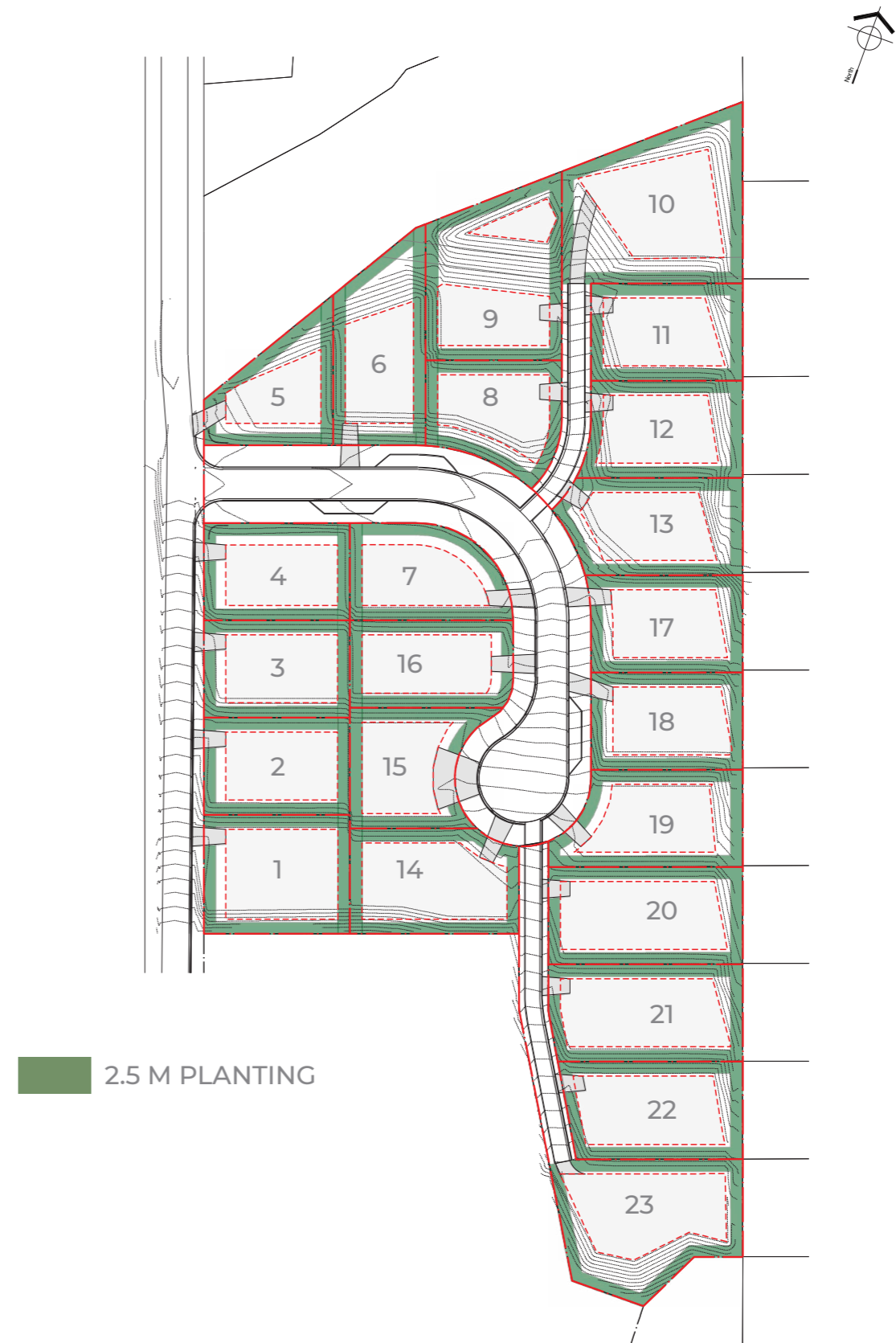
Garages positioned perpendicular to the road are to have a minimum setback of 5.5 m to allow for a vehicle to be parked in front of the garage.

Garages positioned parallel to the road are to conform to the front boundary setback of 4.5 m. Allowance for a vehicle to be parked within the driveway is required.

Carports are permitted but must adhere to the garage setback requirements above.

2.5 REQUIRED PLANTING

Each boundary is to have a minimum 2.5 m required planting depth. Refer to the Landscape section for more information.



ARCHITECTURE

3.0 OVERVIEW

The following guidelines are intended to produce a high quality, coherent development, avoiding visual clutter and respecting the semi-rural, coastal character of Broad Bay.

All buildings, including ancillary buildings, must be located within the approved setbacks (including Council rules).

All materials and colours shall comply with the lists specified below.

3.1 BUILDING HEIGHT

Maximum building heights are specified for each lot from the finished ground level at the date of deposit of the plan of subdivision, to the highest point of the roof.

This excludes chimneys and flues which may extend up to 1.5m above the specified height limit but shall not be more than 500mm wide.

Lots 1, 5, and 23 - 6.5 m height limit.
Lot 14 - 6.0 m height limit.
Lot 22 - 5.0 m height limit.
Lots 2, 15, 18, 19, 20 and 21 - 4.5 m height limit.

All other lots to be advised, but likely subject to a 4.5m height limit.

3.2 ROOF FORMS

Mono-pitched and gabled roof forms are both permitted. Mono-pitched roofs are to have a pitch of between 5° and 15°. Gabled roofs shall have a pitch of between 15° and 40°.

Flat roof connections are permitted between mono-pitched and gabled forms, but shall not exceed 25% of the building

footprint. For example, a 100 m² dwelling is permitted to have no more than 25 m² of the footprint as a flat roof.

Hip roofs are not permitted.

3.3 ROOF MATERIALS

Roof claddings are to be from the list below, with a maximum of two materials on a single dwelling and a maximum LRV of 20%.

Corrugated, metal tray, or similar roofing with standing seams.
Membrane roofing (for flat roof areas only, in dark grey or black).

3.4 ROOF COLOURS

Roofing materials are to be in dark grey or brown shades, with the aim to achieve a coherent colour palette across the development and a maximum Light Reflectance Value of 25%.

The following Resene colours are used as examples and similar colours in other products achieving an LRV of 25% will be considered:

‘Slate’
‘Scoria’
‘Ironsand’
‘Ebony’
‘Flaxpod’
‘Thunder Grey’
‘Karaka’
‘Lignite’

Other roof colours may be considered and included in a Design Approval application, however the final decision is at the sole discretion of Broad Bay Vistas Ltd.



ARCHITECTURE

3.5 CLADDING MATERIALS

The following materials for wall claddings are permitted:

- Timber weatherboard – in natural finish left to weather, charred or stained;
- Vertical board and batten – in natural finish left to weather, or stained;
- Natural Stone – random sized stone, laid horizontally and locally sourced;
- Profiled or standing seam metal cladding – in pre-weathered zinc or painted;
- Concrete – in smooth or textured finish, pigment or oxide may be added;
- Fibre cement board – e.g. James Hardie Stria™ or Linea™, painted;

Materials not listed above may be considered at the sole discretion of Broad Bay Vistas.

3.6 CLADDING COLOURS

Coated cladding is to be in a range of natural, recessive colours, with the aim to achieve a coherent colour palette across the development and a maximum Light Reflectance Value of 35%.

The appendix contains some Resene colours as examples. Other products in similar natural hues or recessive greys, browns and greens which complement the palette and which achieve the LRV of 35% may be considered and included in a Design Approval application, however the final decision is at the sole discretion of Broad Bay Vistas.

3.7 MIXING MATERIALS AND COLOURS

The mixing of more than two cladding materials and colours is to be avoided. A maximum of two claddings complementary in material and colour is permitted for each dwelling.

If a secondary cladding material is desired, this may cover up to a maximum of 30%.

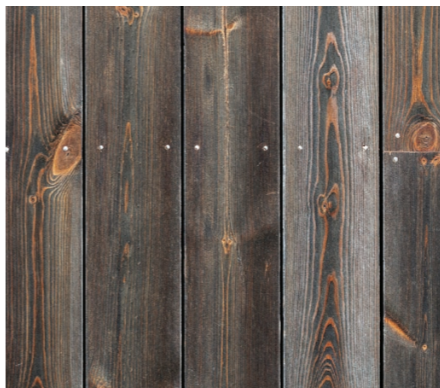
3.8 RAINWATER GOODS, JOINERY AND ACCENTS

- Window and door joinery is to complement the cladding or be in dark grey or black, unless timber joinery in a clear finish is used.
- Rainwater goods shall match the roof colour or be in black or dark grey finish.
- Colour accents on front doors or minor features are permitted at the discretion of Broad Bay Vistas.



ARCHITECTURE

INSPIRATION PALETTE



Architectural examples are for inspiration, colours, roof pitches, etc. may not necessarily adhere to the Design Controls

LANDSCAPE

4.0 MATERIALS

Materials used in the landscape design for paving, structures and features are to complement the architectural design, rather than contrast it. Natural materials and finished are preferred, such as timber and stone.

4.1 LANDSCAPE STRUCTURES

Pergolas, fireplaces and other landscape structures, are to follow the architectural Design Controls and complement the architectural design of the dwelling.

4.2 RETAINING WALLS

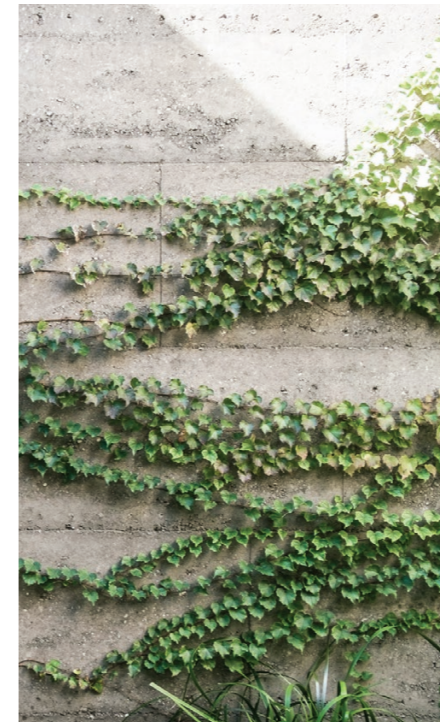
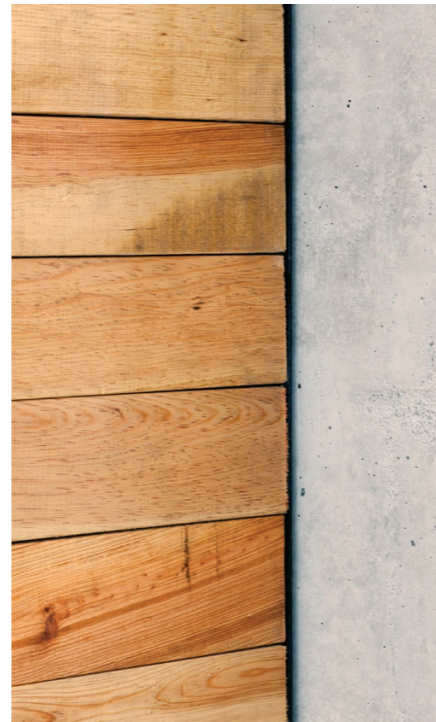
Landscape retaining walls are permitted where necessary to create flat amenity areas within the building platform. The finished surface of the wall may be in:

Natural Stone – random sized stone, laid horizontally and locally sourced;

Concrete – in situ with smooth or textured finish, pigment may be added;

Timber – rough sawn and left to weather or stained dark grey, brown or black.

Other materials may be considered and included in a Design Approval application, however the final decision is at the sole discretion of Broad Bay Vistas.



LANDSCAPE

4.3 PLANTING

Broad Bay intends to achieve a densely planted, biodiverse, naturalistic landscape of native bush around each lot using a palette of grasses and shrubs suited to the coastal environment.

Planting is to be carried out in a manner to mimic the natural arrangement of naturally occurring bush. To achieve this, plants are to be positioned avoiding straight lines and grids and generally in groups of no fewer than five of each species. Larger species may be planted singly, these are identified with * in the lists below.

A minimum planting depth of 2.5m is required to all boundaries.

A description of the planting for each area is overleaf.

4.4 ROADSIDE PLANTING

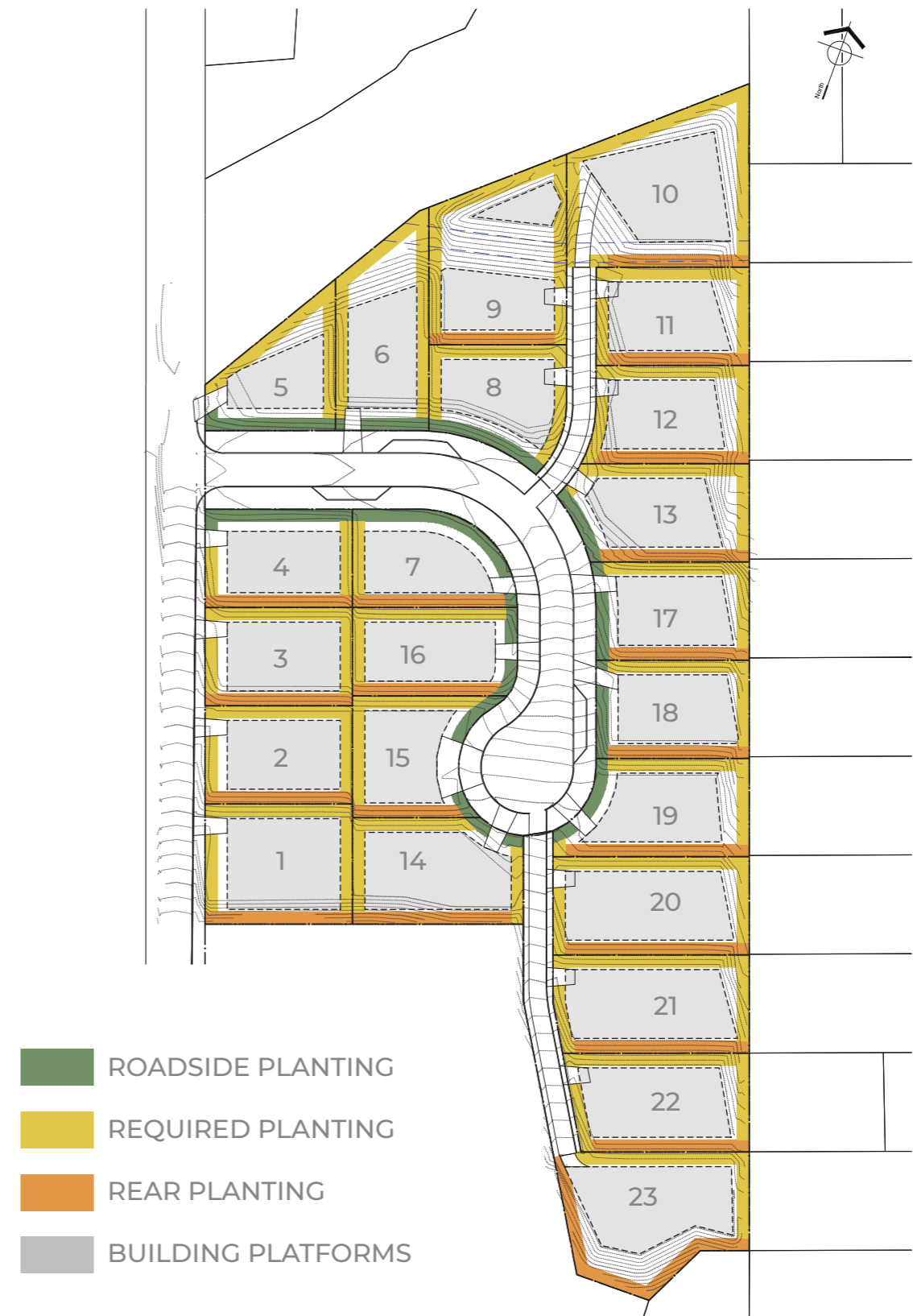
To create a lush, mass planted green frontage to the road and rights of ways within the Broad Bay Vistas subdivision, a 2.5m setback from the Road or Right of Way Boundaries is to be planted with a mix of plants in the **Roadside Planting Species** list.

4.5 INTER-LOT PLANTING – NORTH, EAST OR WEST

To create a densely planted setting for the dwellings, the remaining north, east or west boundaries are to be planted over a 2.5m setback with a mix of the plants in the **Inter-Lot Planting** species list.

4.6 INTER-LOT PLANTING – SOUTH

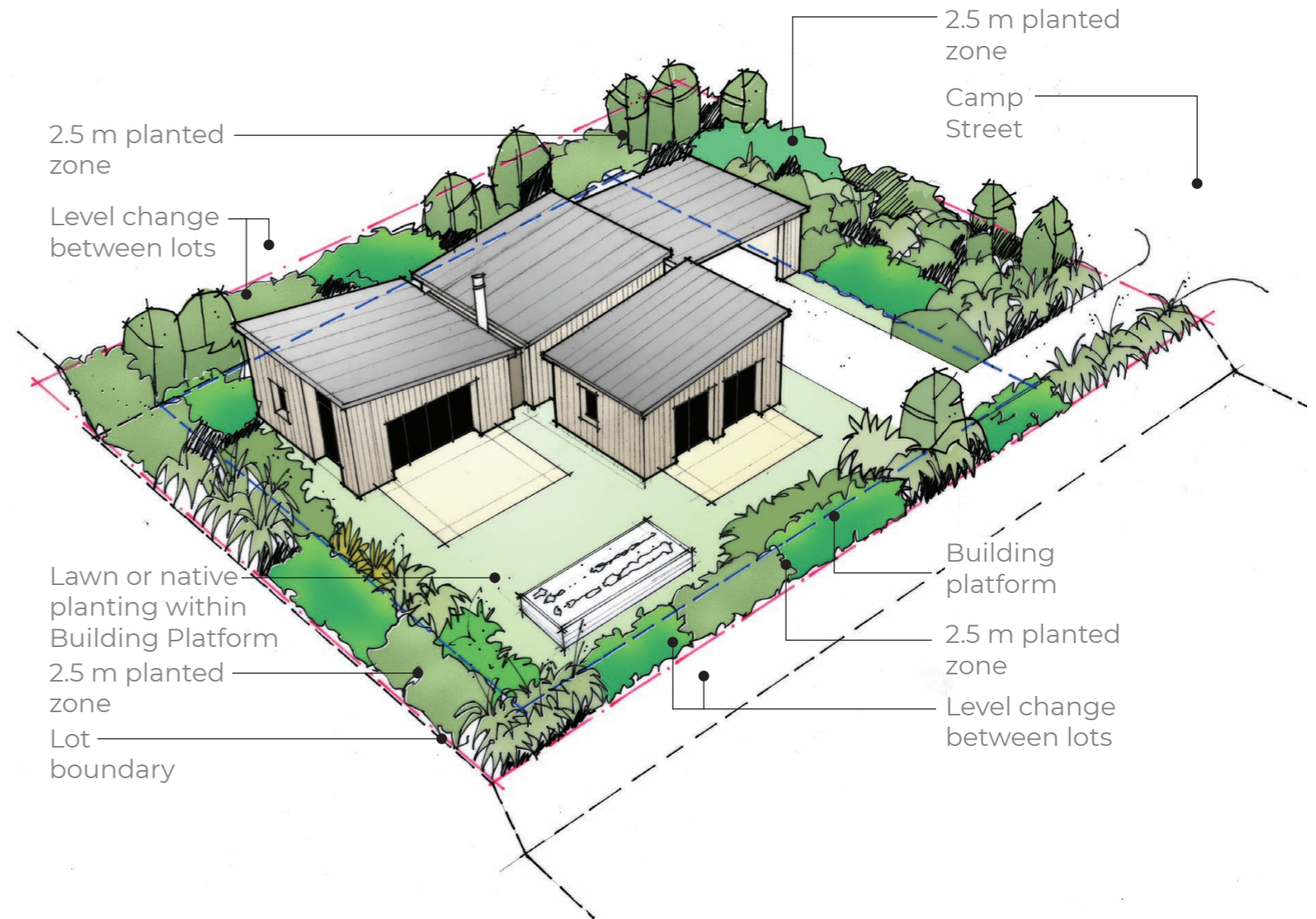
Taller native plants may be included within the southern setback as these will typically be down-hill from the lots behind. A 2.5m setback from the southern boundary is to be planted in a mix of the species from the **Inter-Lot Planting** species and may feature additional plants from the **Inter-Lot South Planting** species List.



PLANTED SETBACKS

4.7 REQUIRED PLANTING

The diagram opposite illustrates the principles of the setbacks and planting areas described above.



INDICATIVE SKETCH CONCEPT

LANDSCAPE

4.8 OTHER PLANT SPECIES

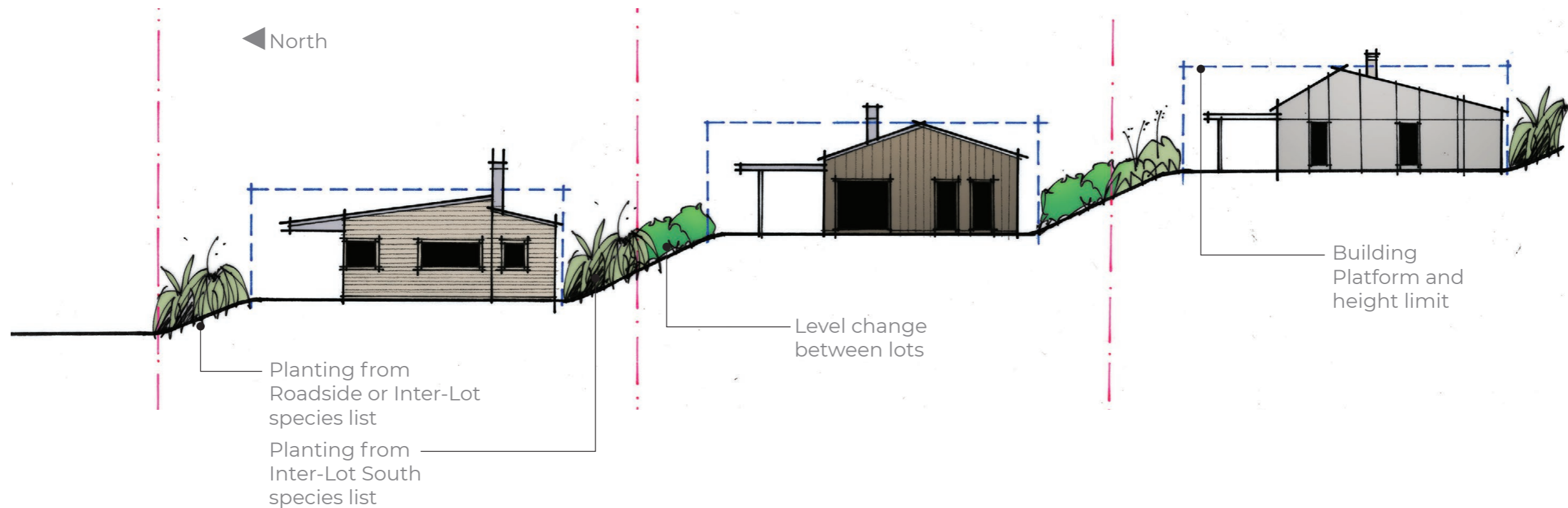
Plant species which are not listed but are aligned with the theme of the Broad Bay Design Controls may be considered at the sole discretion of Broad Bay Vistas.

4.9 MATURE PLANT HEIGHTS

No planting of species growing above 3.0 m at maturity is permitted on any planting areas. This is to protect views.

4.10 PLANTED SETBACKS

The sketch cross-section opposite is taken on a north-south line and shows an indicative arrangement of dwellings and planted setbacks on the lots as they slope down from the rear of the site to the south.



INDICATIVE SKETCH SECTION

LANDSCAPE

4.11 ROADSIDE PLANTING SPECIES

	BOTANICAL NAME	COMMON NAME
4.11.1	Coprosma lucida	Shiny Karamū
4.11.2	Hebe stricta	Koromiko
4.11.3	Hebe albicans	Mt Arthur Hebe
4.11.4	Olearia arborescens	Common Tree Daisy
4.11.5	Phormium cookianum	Wharariki / Mountain Flax
4.11.6	Carex Dipsacea	Sedge



4.11.1



4.11.2



4.11.3



4.11.4



4.11.5



4.11.6

4.12 INTER-LOT PLANTING SPECIES

	BOTANICAL NAME	COMMON NAME
4.12.1	Hebe topiaria	Box Leaf Hebe
4.12.2	Hebe 'Wiri Cloud'	Hebe 'Wiri Cloud'
4.12.3	Hebe cupressoides	Cypress Hebe
4.12.4	Hebe 'Marie Antoinette'	Hebe 'Marie Antoinette'
4.12.5	Carex testacea	Brick Sedge
4.12.6	Astelia fragrans	Bush Flax
4.12.7	Astelia chathamica 'Silver Spear'	Kakaha / Silver Bush Flax
4.12.8	Coprosma kirkii	Groundcover Coprosma
4.12.9	Blechnum discolor	Crown Fern
4.12.10	Libertia grandiflora	New Zealand Iris



4.12.1



4.12.2



4.12.3



4.12.4



4.12.5



4.12.6



4.12.7



4.12.8



4.12.9



4.12.10

LANDSCAPE

4.13 INTER-LOT SOUTH PLANTING SPECIES

	BOTANICAL NAME	COMMON NAME
4.13.1	Lophomyrtus bullata*	Ramarama*
4.13.2	Hebe stricta*	Koromiko*
4.13.3	Hebe odora*	Boxwood Hebe*
4.13.4	Coprosma lucida*	Shiny Karamū*
4.13.5	Phormium tenax*	v / Flax*
4.13.6	Brachyglottis greyi*	Daisy Bush*
4.13.7	Olearia lineata*	Small Leaved Tree Daisy*



4.13.1



4.13.2



4.13.3



4.13.4



4.13.5



4.13.6



4.13.7

LANDSCAPE

4.14 BOUNDARY TREATMENT, FENCING AND GATES

Fencing is permitted on side and rear boundaries, and setback a minimum of 1.0 m from the Road Boundary. Fencing is to be obscured within the Required and Discretionary planting which will eventually grow over and cover the fence.

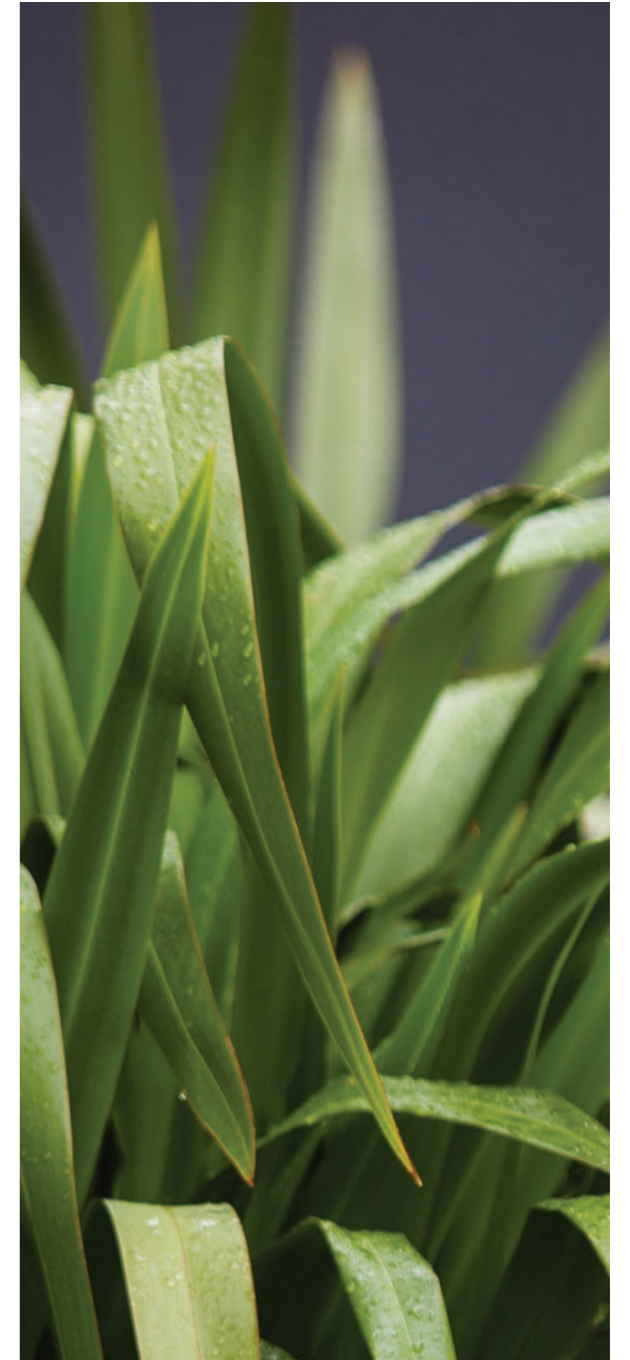
Post and wire fencing for the purpose of containment is permitted, up to 1.2 m high. No paling fencing or similar is permitted. The use of mass planted natives is encouraged for the purpose of privacy.

Galvanised steel mesh may be added for containment of children and pets.

Timber posts are to be in natural timber or stained dark grey, brown or black. Waratahs in black finish.

Entry gates to the Road Boundary are permitted if required for containment, gates are to be in timber and a maximum of 1.0 m high.

Pool and spa fencing must be internal to the property and comply with applicable safety standards and regulations.



4.15 HOUSE NUMBERS AND MAILBOXES

A steel marker post with mailbox, house number and downlight is permitted at the entry to each lot. Refer to the sketch design in the Appendix.

4.16 PAVING

Paved landscape areas are permitted within building platforms and are encouraged to be of a high quality finish and durability. Paving is to be natural stone or concrete tones and approved by Broad Bay Vistas Ltd during design approval.

LANDSCAPE

4.17 DRIVEWAYS

All driveways are to be constructed in an exposed aggregate concrete, asphalt or paved in mid to dark grey colours.

Vehicle courtyards extending from the driveway may be constructed in either the same material as the driveway, or a differing paving in a natural stone or concrete in mid to dark grey tone and approved by Broad Bay Vistas Ltd during Design Approval.

Driveway patterns such as cuts and expansion joints in exposed aggregate concrete are permitted.

4.18 EXTERIOR LIGHTING

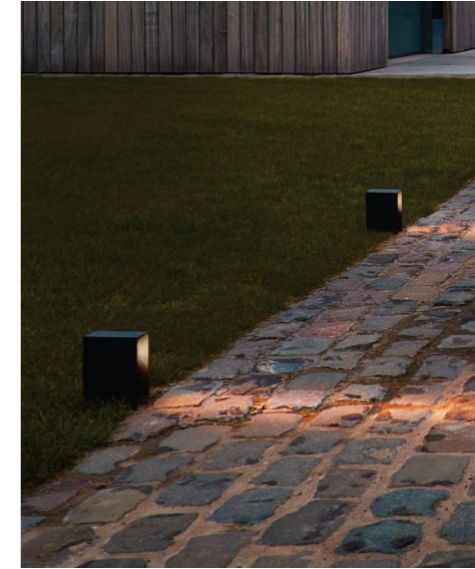
Exterior lighting is to be low intensity and directed downward by use of hoods, louvres and screens in order to prevent light spill or glare to neighbouring properties and minimise light pollution.

Exterior lighting units fixed to the dwelling are to be finished to match the joinery, roof colour or be in a dark grey.

All exterior lighting not fixed to a dwelling shall be no more than 1.5 m in height.

Temporary lighting for the purposes of seasonal events, such as Christmas and Halloween, are permitted for no longer than a 1 month time period.

Floodlighting is not permitted.



LANDSCAPE

4.19 UTILITIES AND STORAGE

All utility and storage areas shall be located to the side or rear of the dwelling and screened appropriately from neighbours, road corridors and public viewpoints.

Utilities and storage areas include but are not limited to:

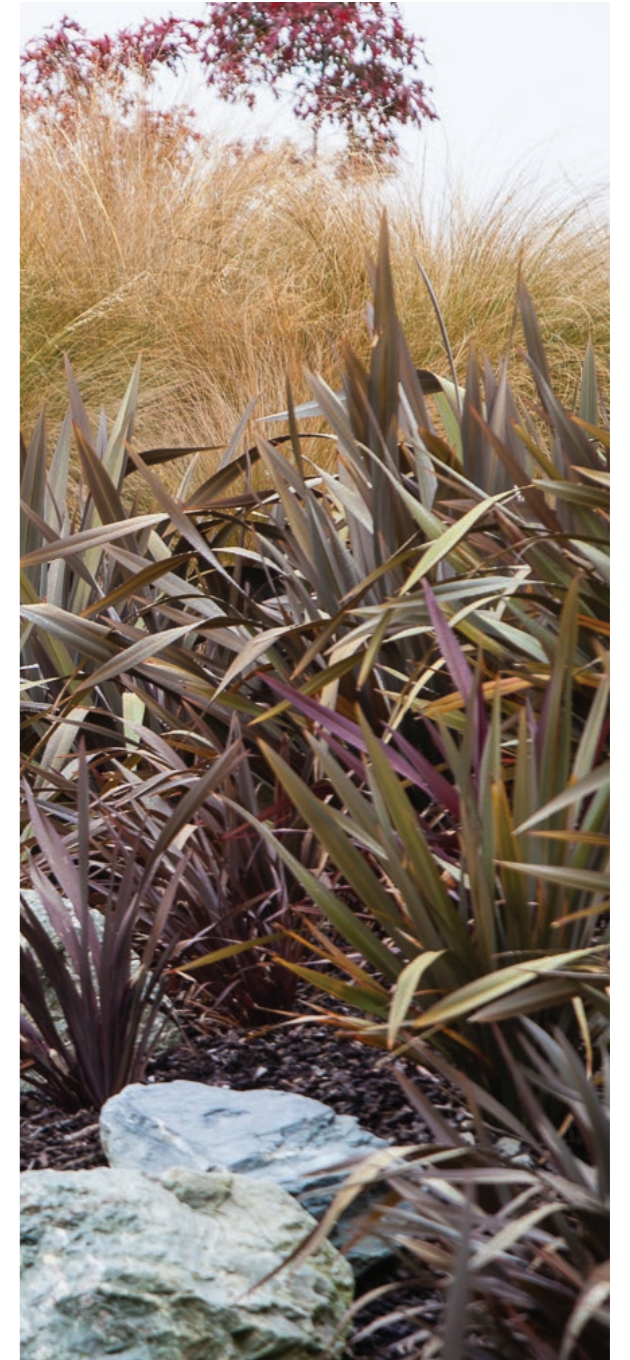
Air conditioning units and heat pumps shall be painted in recessive colours;
External hot water devices;
Gas bottles;
Rubbish and recycling bins or bag areas.

4.20 CLOTHES LINES

Clothes lines shall be no higher than 1.6m and be located to the side or rear of the dwelling and screened appropriately from neighbours, road corridors and public viewpoints.

4.21 BOATS TRAILERS CARAVANS

Boats, trailers and caravans must not be parked or stored on any open space or road corridor, including street parking bays or road verges.
They must be parked or stored within the lot.



LANDSCAPE

4.22 MAINTENANCE OF LANDSCAPING

The lot owner must ensure that landscaping is well maintained all year round. If the dwelling is occupied by tenants, the owner must still ensure the maintenance of the yards.

Maintenance includes (but is not limited to); mowing lawns, shrub and tree pruning (if required), weed removal, and irrigation (subject to local authority water restrictions).

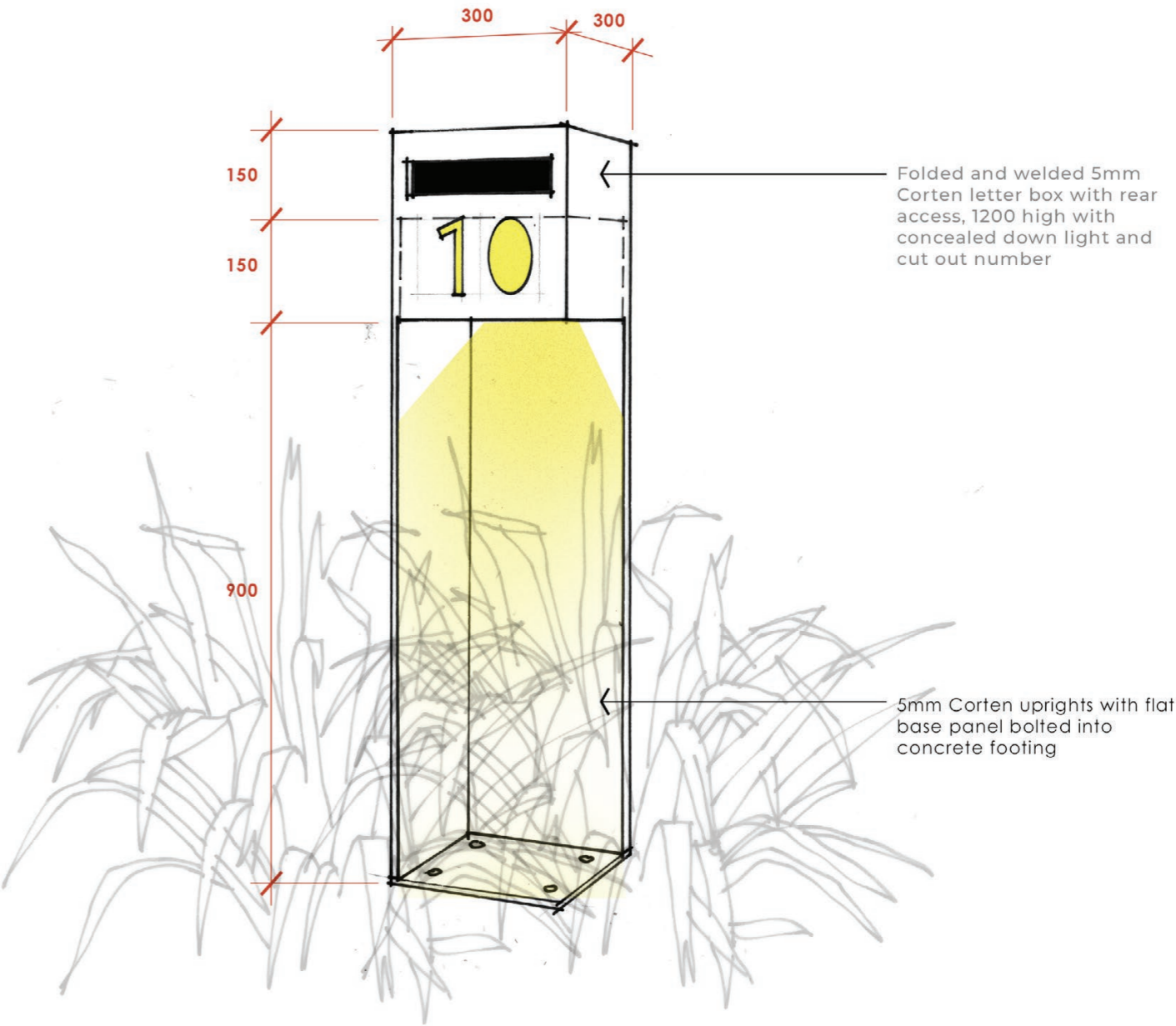


APPENDIX

5.0 LETTERBOX DESIGN

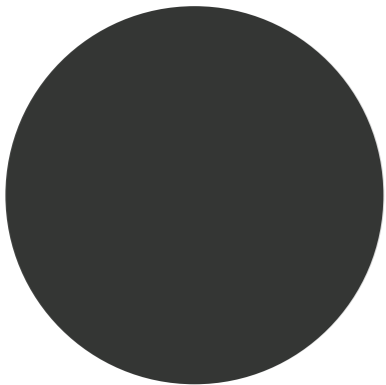


Note : this design or similar will be supplied by Broad Bay Vistas to avoid visual clutter. No replacements or alternative designs are permitted.

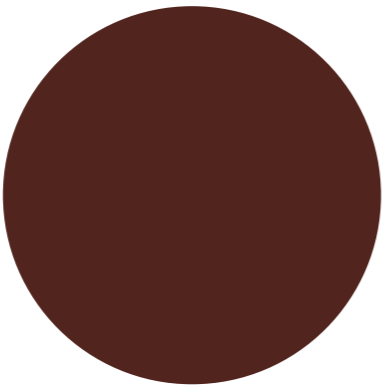


APPENDIX

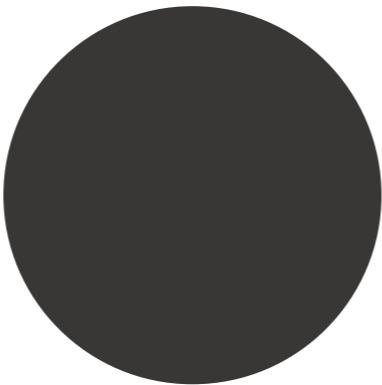
RESENE COLOUR CHART



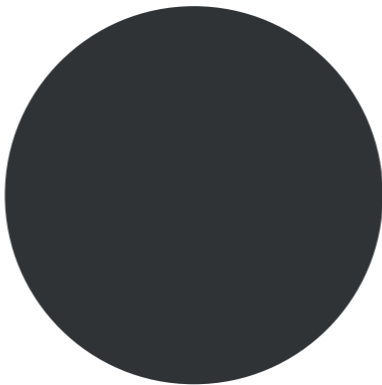
'SLATE'



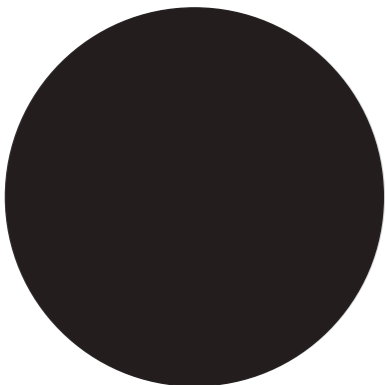
'SCORIA'



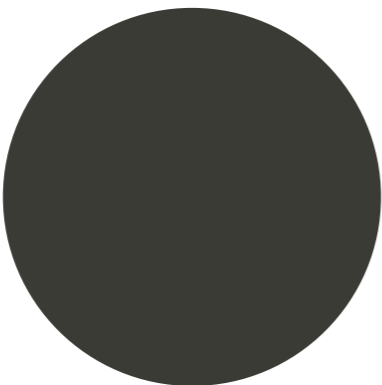
'IRONSAND'



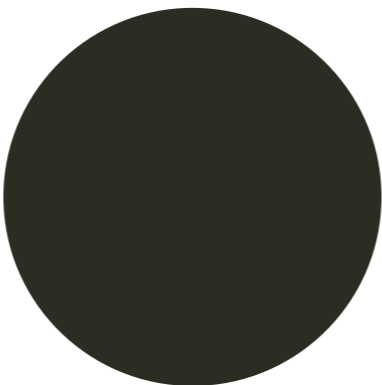
'EBONY'



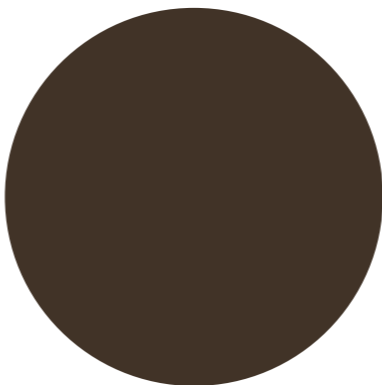
'FLAXPOD'



'THUNDER GREY'



'KARAKA'



'LIGNITE'